

# ST. EDMUNDSBURY HOSPITAL, LUCAN, CO. DUBLIN

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Architectural Heritage Impact Assessment



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## 1 INTRODUCTION AND SUMMARY

This Architectural Heritage Impact Assessment (AHIA) has been prepared in support of a planning application to An Coimisiún Pleanála under Section 37E of the Planning and Development Act 2000 (as amended), for the development of a new mental health hospital facility and associated works at St. Edmundsbury Hospital, Lucan Road, Lucan, Co. Dublin.

The application relates to a site of approximately 8.10 hectares and includes a number of protected structures listed in the Record of Protected Structures (RPS Ref. Nos. 003, 008, 012 and 013). The proposed development comprises the construction of a new adult inpatient mental health facility (c. 200 beds), a new adolescent inpatient unit, the refurbishment and reuse of existing historic structures within the farmyard complex, and associated site development works including landscaping, infrastructure and access improvements.

The proposed development includes the demolition of a number of existing structures, including a modern ward extension, non-historic ancillary buildings, and a historic farm building identified in the National Inventory of Architectural Heritage (NIAH) as being of regional significance. The development also involves the partial demolition of sections of the protected walled garden (RPS 012), and the incorporation and alteration of the boundary wall and bell tower (RPS 013) as part of the new hospital building.

This report assesses the potential impacts of the proposed development on the architectural heritage resource of the site, including the historic fabric, character, setting and significance of the protected structures and associated features. The assessment considers both adverse and beneficial effects arising from demolition, alteration, new construction and change of use.

The principal adverse impacts identified relate to:

- the demolition of the historic farm building;
  - the partial removal of sections of the protected walled garden;
  - the alteration and incorporation of the boundary wall and bell tower into the new hospital structure; and
  - interventions to the historic fabric and plan form of protected structures.
- The principal positive impacts relate to:
- the conservation, repair and continued use of St. Edmundsbury House;
  - the adaptive reuse of the Barn and Coach House;
  - the removal of non-historic accretions which detract from the character of the historic complex; and
  - the long-term securing of the viability of the site as a managed and maintained heritage environment.

This AHIA forms part of a suite of conservation documents prepared by Carrig Conservation International Ltd., including:

- Volume 1: Architectural Inventory, Condition Survey and Appraisal;
- Volume 2: Conservation Repair Methodology and Specification; and
- Volume 3: Architectural Heritage Impact Assessment (this document).

This document should be read in conjunction with Chapter 10 (Cultural Heritage) of the Environmental Impact Assessment Report (EIAR), which applies the Environmental Protection Agency Guidelines (2022) to classify the significance of effects identified in this assessment.

### 1.1 SUMMARY OF PROPOSED DEVELOPMENT

- Site area: **c. 8.10 ha**
- Protected structures: **RPS 003, 008, 012, 013**
- Total cumulative area of all proposed new and refurbished buildings: **c. 19,251.90 sq m**
- Public open space: **8,524 sq m including public walking and cycling facilities**

- Permission period: **10 years**
- Junction upgrade works: **do not form part of this application**

## 2 METHODOLOGY

### 2.1 BASIS OF ASSESSMENT

The architectural heritage appraisal describes and evaluates the heritage significance of the buildings and features within the application site and its immediate context. The assessment has been informed by a review of available documentary sources, statutory records and on-site inspection.

The following sources have been consulted:

- South Dublin County Development Plan 2022–2028
- Record of Protected Structures (RPS)
- National Inventory of Architectural Heritage (NIAH)
- Record of Monuments and Places (RMP)
- Historic mapping and aerial imagery
- Carrig Conservation Vol. 1: Architectural Inventory, Condition Survey and Appraisal
- Carrig Conservation Vol. 2: Conservation Repair Methodology and Specification

### 2.2 SCOPE OF THE ASSESSMENT

This report assesses the potential impact of the proposed development on the architectural heritage resource within the site, including:

- Protected structures and their curtilage
- Non-designated structures of architectural interest
- Historic boundaries and landscape features
- The setting and spatial relationships of the historic complex

The assessment is based on:

- visual inspection of the site and structures;
- review of architectural drawings and design proposals; and
- consideration of the historical development of the site.
- No intrusive investigation of the built fabric has been undertaken as part of this assessment.

Archaeological impacts are addressed separately within the Cultural Heritage chapter of the EIAR and associated specialist reports.

### 2.3 IMPACT ASSESSMENT METHODOLOGY

The assessment of impacts on architectural heritage is based on the interaction between:

- the significance of the heritage asset, and
- the magnitude of change arising from the proposed works

### 2.3.1 SIGNIFICANCE OF HERITAGE ASSETS

The significance of each asset is informed by:

- statutory designation (RPS, NIAH)
- architectural quality and craftsmanship
- historic and cultural value
- group value within the wider complex
- contribution to setting and landscape

### 2.3.2 MAGNITUDE OF CHANGE

The magnitude of change is assessed having regard to:

- the extent of removal of historic fabric
- the degree of alteration to character or form
- the reversibility of the intervention
- the impact on spatial relationships and setting
- the visibility of the change

### 2.3.3 IMPACT CLASSIFICATION

Impacts are classified as follows:

- **Significant Adverse Impact**  
Major loss of historic fabric or substantial harm to the character or setting of a heritage asset
- **Moderate Adverse Impact**  
Partial loss of fabric or notable alteration to character or setting
- **Slight Adverse Impact**  
Minor alteration to fabric or limited effect on character
- **Neutral Impact**  
No material change to fabric, character or setting
- **Slight Positive Impact**  
Minor enhancement, including repair or removal of inappropriate fabric
- **Moderate Positive Impact**  
Noticeable improvement to condition, character or legibility
- **Significant Positive Impact**  
Substantial enhancement, including securing long-term conservation and viable use

## 2.4 LIMITATIONS

This assessment is based on the information available at the time of writing, including architectural drawings and design proposals provided by the design team.

The assessment is limited to architectural heritage and does not include detailed structural analysis or archaeological excavation.

Where further design development occurs, additional detailed assessment may be required, particularly in relation to junction detailing and conservation methodologies.

### 3 OUTLINE DESCRIPTION OF THE SITE

#### 3.1 HISTORIC DEVELOPMENT AND SITE STRUCTURE

The subject site comprises approximately 8.10 hectares located at St. Edmundsbury Hospital, Lucan Road, Lucan, Co. Dublin. The site forms part of a historic institutional complex set within a landscaped setting and accessed from the Lucan Road (R835).

The site contains a number of protected structures listed in the Record of Protected Structures (RPS) under the South Dublin County Development Plan, including:

- **RPS 003** – St. Edmundsbury House
- **RPS 008** – Farmyard complex, including Coach House and Barn
- **RPS 012** – Walled Garden
- **RPS 013** – Boundary Wall and Bell Tower

In addition, a number of structures within the site are identified in the National Inventory of Architectural Heritage (NIAH), reflecting their architectural and historical interest.

Structure & Description (As per NIAH)	Designation	
	RPS	NIAH Ref. No. & Rating
<b>St. Edmondsbury House, Old Lucan Road</b>  Detached multiple-bay two-storey over basement house, c.1740, with projecting Doric entrance portico. Rendered, ruled and lined walls with quoins and balustraded parapet. Various replacement windows, set beneath bracketed pediments to ground floor, and within segmental-headed openings having carved timber decoration to first floor. Hipped slate roof with lead flashing. Substantially extended and altered, in the early nineteenth century, and again, c.1986. Now in use as psychiatric hospital.	003	11202003 Regional
Uncoursed rubble limestone boundary wall, c.1825, with attached medieval bell tower. Detached single-storey farm building with brick and rubble walls and pitched slate roof nearby.	013	11202005 Regional
Walled Garden, Lucan Road, St. Edmondsbury House	012	11202006 Regional
Uncoursed Rubble Limestone Boundary Wall with Attached Bell Tower, Off Lucan Road, St. Edmondsbury House.	013	11202005 Regional
<b>St. Edmondsbury, Off Lucan Road - Barn</b> Detached multiple-bay double-height cattle barn, c.1880, with various later pitched-roofed extensions. Rubble stone walls retaining patches of render, with assorted small openings. Large round-headed archways with brick reveals running through each end. Corrugated iron roof on steel trusses. Dovecote to eastern end. Barn currently unused.	008	11202007 Regional

Structure & Description (As per NIAH)	Designation	
	RPS	NIAH Ref. No. & Rating
<b>St. Edmundsbury, Off Lucan Road (Barn)</b> Detached irregular-bay double-height former byre, c.1870. Roughcast rendered walls with various window openings, some blocked, some with timber ventilation slats. Plain doorways to south and east walls. Pitched slate roof with ventilators to ridge. Remnants of stalls and hay loft to interior.	008	11202008 Regional

The site is centred on St. Edmundsbury House, a late eighteenth-century country house which forms the principal architectural element within the complex. The house is set within a structured landscape and is historically associated with a range of ancillary buildings and enclosed spaces.

To the west of the house lies the historic farmyard complex (RPS 008), comprising the Coach House, Barn and associated structures. These buildings are arranged around a courtyard and reflect the agricultural and service functions historically associated with the estate.

To the north-west of the house lies the walled garden (RPS 012), a formally enclosed space defined by high stone walls. The walled garden forms a key component of the historic layout of the site and contributes significantly to its character and spatial organisation.

The site is further defined by a series of boundary walls, including the boundary wall with bell tower (RPS 013), which forms a prominent and distinctive feature within the complex and contributes to the definition of internal spaces and circulation routes.



Fig.1: St. Edmundsbury Hospital existing key plan

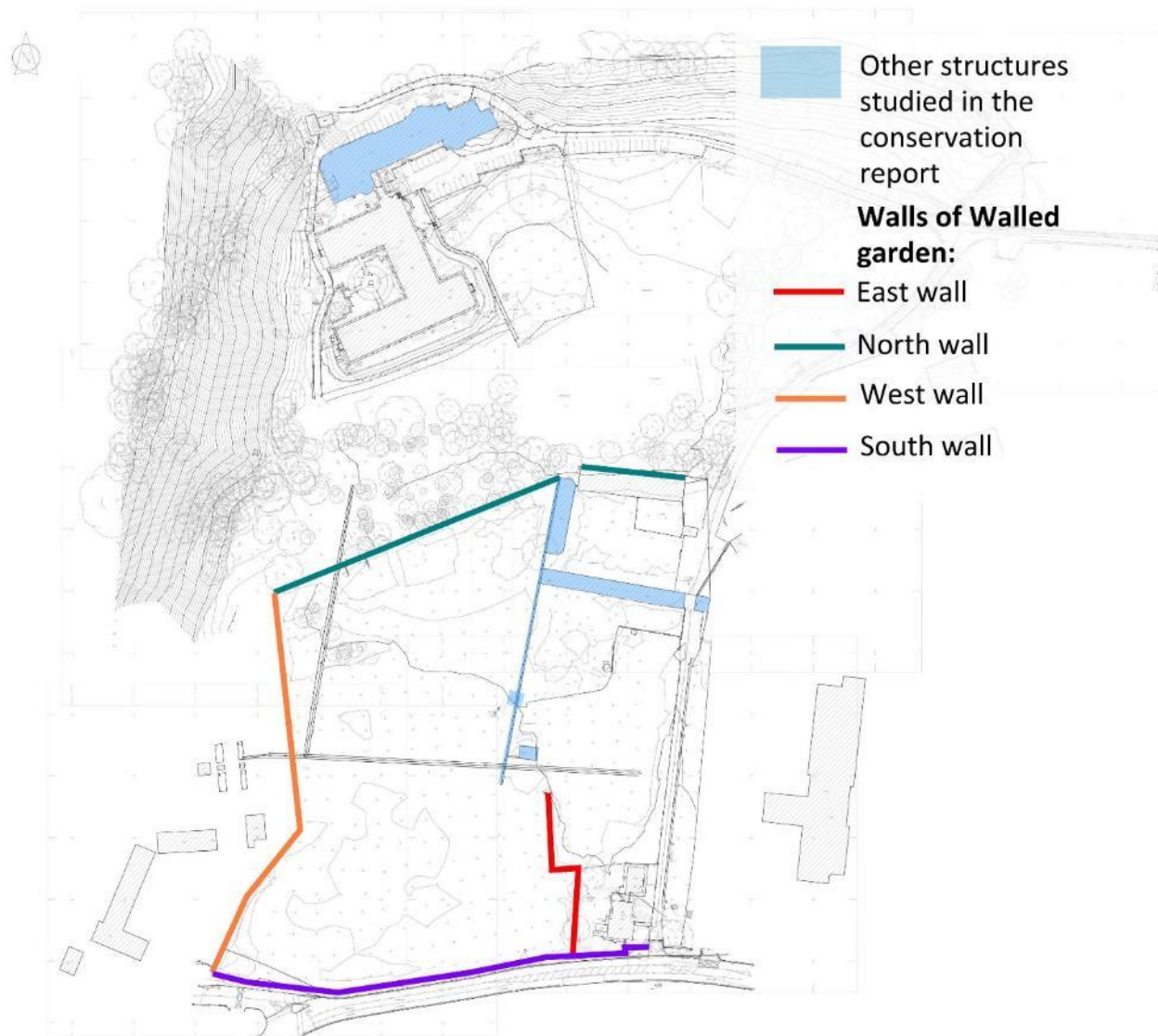


Fig.2: Walls of Walled Garden key plan

### 3.2 ARCHITECTURAL AND HERITAGE SIGNIFICANCE

The architectural heritage significance of the site derives not only from the individual protected structures, but from their **collective relationship as an integrated historic complex**.

Key aspects of significance include:

- The architectural quality and historic character of St. Edmundsbury House
- The functional and spatial relationship between the house and the farmyard complex
- The enclosure and definition provided by the walled garden
- The contribution of boundary walls and the bell tower to the legibility of the site
- The survival of historic spatial arrangements and circulation patterns

The group value of these elements is a defining characteristic of the site, and the relationships between buildings, walls and open spaces are critical to its understanding and significance.

### 3.3 BROADER SETTING AND CONTEXT

The site is set within a wider suburban and institutional landscape, with development along the Lucan Road forming its southern boundary. While the surrounding context has evolved over time, the internal character of the site retains a distinct identity defined by its historic structures, enclosed spaces and mature landscape.

The boundary walls, entrances and internal layout contribute to the separation of the historic complex from its surroundings and reinforce its character as a defined and cohesive place.

## 4 PROPOSED DEVELOPMENT

The proposed development comprises the construction of a new mental health hospital facility and associated works within the St. Edmundsbury Hospital campus.

For the purposes of this assessment, the development can be broadly described under the following headings:

### 4.1 DEMOLITION WORKS

The proposed development includes the demolition of a number of existing structures within the site, including:

- The demolition of an existing single-storey 52-bed psychiatric ward (c. 1,633 sq m) located to the south-west of St. Edmundsbury House
- The demolition of a number of non-historic ancillary buildings, including sheds and outbuildings
- The demolition of two existing Dean Clinic buildings at the entrance to the site to facilitate revised access arrangements
- The demolition of a contemporary shed within the historic farmyard enclosure
- The demolition of an existing shed located to the north-west of St. Edmundsbury House

In addition, the proposed development includes the demolition of a historic farm building identified in the NIAH as being of regional significance.

### 4.2 NEW CONSTRUCTION

The proposed development includes the construction of:

- A new adult inpatient mental health facility (c. 200 beds), ranging from one to two storeys in height, with a total floor area of approximately 16,283 sq m. This building is located within the existing walled garden (RPS 012) and incorporates the historic boundary walls and bell tower (RPS 013)
- A new adolescent inpatient mental health facility (14 bedrooms), constructed on the site of the existing ward extension to the south-west of St. Edmundsbury House
- A new ESB substation building to the north-west of St. Edmundsbury House
- A new energy centre building within the historic farmyard enclosure

The new adult inpatient facility is arranged as a continuous block comprising multiple wards and incorporates a series of internal courtyards and terraces.

As part of these works, approximately 62 linear metres of the north wall of the walled garden will be demolished, with salvaged stone to be reused within the new construction.

### 4.3 REFURBISHMENT OF EXISTING STRUCTURES

The proposed development includes the alteration, refurbishment and reuse of historic structures within the site, including:

- St. Edmundsbury House (RPS 003), which will be adapted for continued healthcare use
- The Coach House (RPS 008), which will be converted to provide a consultancy suite and café
- The Barn (RPS 008), which will be adapted to accommodate maintenance facilities and associated offices

These works involve internal reconfiguration, insertion of new openings, and upgrading of building services.

### 4.4 BOUNDARY AND WALL WORKS

The proposed development includes significant works to historic boundary elements, including:

- The incorporation of the boundary wall and bell tower (RPS 013) into the new adult inpatient facility
- The demolition of sections of the walled garden (RPS 012), including approximately 62 linear metres of the north wall
- The removal and relocation of approximately 190 linear metres of the southern boundary wall along Lucan Road, set back from the existing boundary to facilitate future junction improvements (not part of this application)

These works will alter the spatial definition and enclosure of the historic site.

### 4.5 ACCESS, LANDSCAPING AND SITE WORKS

The proposed development includes a range of associated site development works, including:

- Revised access arrangements and widening of the site entrance from Lucan Road
- Provision of internal roads, paths, and set-down areas
- Landscaping works, including public open space, private patient gardens, and boundary treatments
- Installation of services infrastructure, including drainage, lighting, utilities and plant
- Tree removal and replacement planting
- Changes in level, retaining structures and groundworks

These works will influence the setting of the protected structures and the character of the site.

### 4.6 SUMMARY OF PROPOSED WORKS BY STRUCTURE.

The proposed development includes a range of interventions across the protected structures and associated heritage assets within the site. A summary of the principal works affecting each structure is set out below.

#### 4.6.1 ST. EDMUNDSBURY HOUSE (RPS 003)

- Removal of the existing modern ward extension to the south-west
- Construction of a new adolescent inpatient unit in its place
- Façade remediation where the existing extension connects to the house
- Internal alterations including removal and insertion of partitions

- Installation of new building services and finishes
- General refurbishment and redecoration

#### 4.6.2 FARMYARD COMPLEX (RPS 008)

##### a) Coach House

- Conversion to consultancy suite and café
- Formation of new openings
- Alteration of existing openings
- Replacement of roof structure
- Installation of new internal floors and stairs
- Insertion of new services

##### b) Barn

- Conversion to maintenance facility and offices
- Replacement of roof structure, including increase in ridge height
- Formation of new openings
- Insertion of new first floor and stair
- Internal reconfiguration
- Installation of new mechanical and electrical services

#### 4.6.3 WALLED GARDEN (RPS 012)

- Construction of a new adult inpatient facility within the enclosure
- Demolition of approximately 62 linear metres of the north garden wall
- Potential alteration to additional wall sections (subject to final design confirmation)
- Reuse of salvaged stone within the proposed development

#### 4.6.4 BOUNDARY WALL AND BELL TOWER (RPS 013)

- Incorporation of the wall and bell tower into the new hospital building
- Formation of new openings within the wall
- Attachment of new structural elements and partitions
- Alteration of the spatial relationship between the wall and surrounding areas

#### 4.6.5 FARM BUILDING (NIAH)

- Complete demolition of the existing structure
- Recording and salvage of materials

#### 4.6.6 SOUTHERN BOUNDARY WALL (LUCAN ROAD)

- Removal and relocation of approximately 190 linear metres of boundary wall
- Reconstruction set back from the existing alignment
- Facilitation of future junction improvement works (not part of this application)

#### 4.6.7 OTHER STRUCTURES AND SITE ELEMENTS

- Demolition of non-historic ancillary buildings, including Dean Clinic buildings

- Construction of new ESB substation and energy centre
- Revised access arrangements and entrance widening
- Landscaping, boundary treatments and infrastructure works affecting the setting of heritage assets.

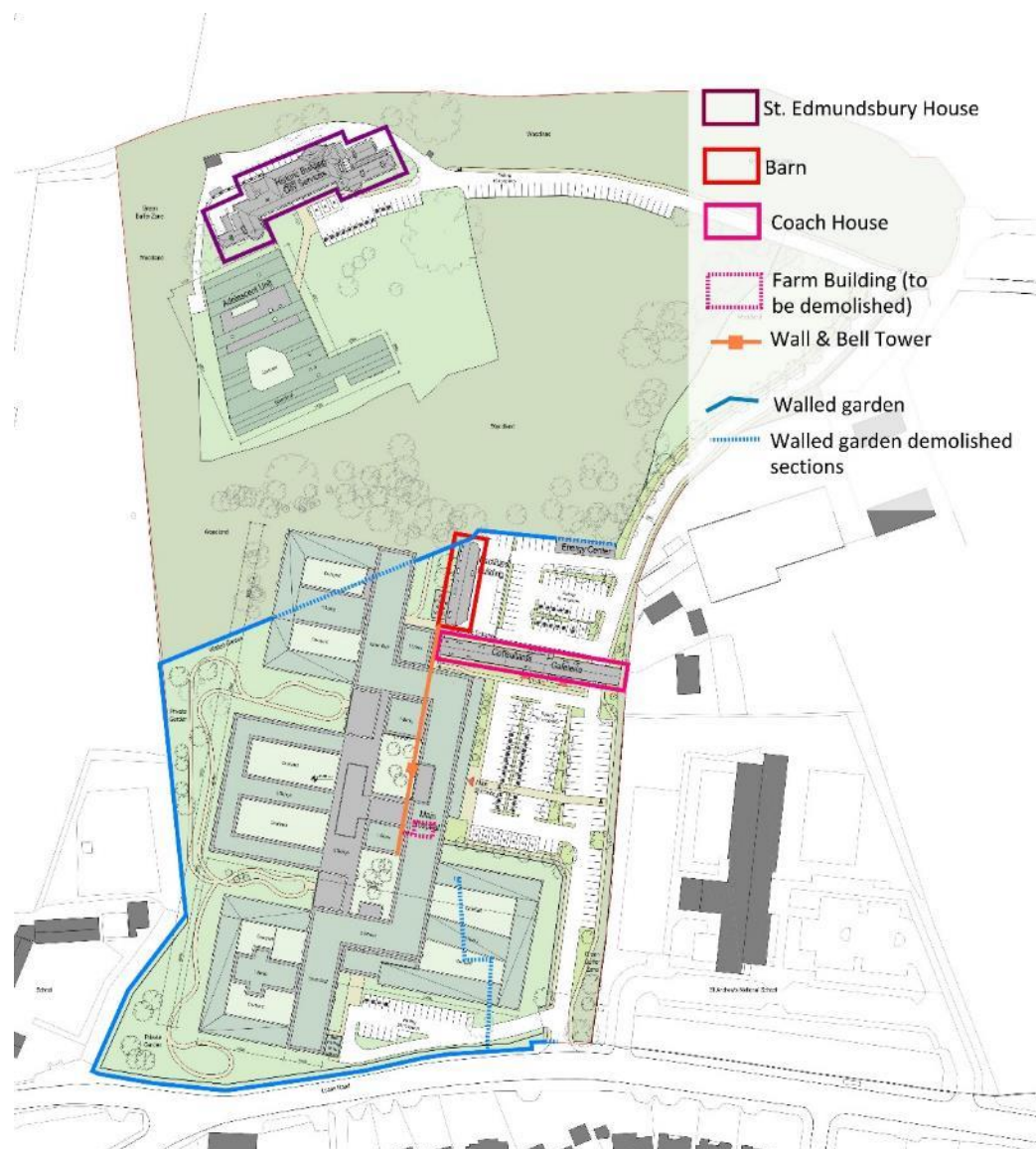


Fig.3: Proposed site plan. Source: TOT Architects





Fig.5: Historic Farm building proposed for demolition.



Fig.6: Non-historic section of entrance wall at the southeast of the site, proposed for demolition.



Fig.7: Non-historic bungalows buildings at the southeast of the site, proposed for demolition.



Fig.8: Protected brickwork and concrete walled garden at the southeast of the site, proposed for demolition. Source: Murphy survey



Fig.9: Non-historic concrete blocks outbuildings at the southeast of the Coach House, proposed for demolition.



Fig.10: Non-historic fencing and concrete wall boundary wall at the south of the Coach House, proposed for demolition.



Fig.11: Non-historic ancillary building at the south of the north walled garden, proposed for demolition.



Fig.12: Non-historic ancillary building close to the Barn, proposed for demolition.



Fig.13: Non-historic ancillary building at the north of the Coach House, proposed for demolition.



Fig.14: Non-historic 1980s ward extension at the south of St. Edmundsbury House, proposed for demolition.



Fig.15: Section of protected north wall of Walled Garden, proposed for demolition.

## 5 ARCHITECTURAL HERITAGE IMPACT ASSESSMENT

### 5.1 INTRODUCTION AND OVERVIEW

This section provides a detailed assessment of the potential impacts of the proposed development on the architectural heritage resource within the site.

The assessment is informed by the methodology set out in Section 2 and considers the interaction between the significance of the heritage assets and the magnitude of change arising from the proposed works.

The assessment addresses impacts on:

- historic fabric
- architectural character
- spatial relationships and plan form
- setting and enclosure
- the legibility of the historic complex

The assessment is structured by reference to individual structures and site elements, and is supported by the summary of proposed works set out in Section 4.6.

This impact assessment should be read in conjunction with the design team's documentation.

The Architectural Heritage Impact Assessment adheres to the government publication *Architectural Heritage Protection, Guidelines for Planning Authorities*.

The assessment of impacts on architectural heritage is based on the interaction between the **significance of the heritage asset** and the **magnitude of change arising from the proposed works**.

Impacts are classified as follows:

- **Significant Adverse Impact:** Total or substantial loss of historic fabric or major alteration to character or setting of a heritage asset of high significance.
- **Moderate Adverse Impact:** Partial loss of historic fabric or notable alteration to character or setting.
- **Slight Adverse Impact:** Minor loss or alteration of fabric or limited impact on character.
- **Neutral Impact:** No material change to historic fabric, character or setting.
- **Slight / Moderate / Significant Positive Impact:** Improvement to the condition, legibility, or long-term conservation of a heritage asset.

The proposed works, the rationale for the proposed works, the anticipated impact of the proposed works and mitigation measures in response to the anticipated impacts are outlined below.

### 5.2 OFFICIAL DEVELOPMENT DESCRIPTION

In accordance with section 37E of the Planning and Development Act 2000, as amended, The Governors of St. Patrick's Hospital, care of Tom Phillips + Associates, 80 Harcourt Street, Dublin 2, gives notice of its intention to make an application to An Coimisiún Pleanála for permission for a period of 10 no. years for the development of the new mental health hospital facility and all ancillary site development, site services, utilities and landscaping works ("the proposed development"), all at the c. 8.10 Ha site, located at St Edmundsbury Hospital, Lucan Road, Lucan, Co. Dublin, K78 NW63 (Protected Structures: RPS Ref Nos. 003, 008, 012, 013.) The cumulative area of all proposed new and refurbished buildings is c. 19,251.90 sqm. Associated site development works will include the provision of 8,524 sqm public open space facilities, including public walking and cycling facilities.

The proposed development comprises the demolition of an existing single storey 52 no. bed psychiatric ward (c. 1,633.00 sq m), located to the south-west of St. Edmundsbury House (RPS 003), and the construction of a single storey 14 no. bedroom in-patient adolescent mental health facility (c. 1,857.10 sq m) in its place, with façade remediation where the former building connected to St. Edmundsbury House; The demolition of 1 no. storey existing shed (c. 17.90 sq m) to the north-west of St. Edmundsbury House and replacement with 1 no. ESB substation unit building (c. 23.60 sq m).

The proposed development includes a new 200 no. bed adult inpatient facility ranging from one to two storeys in height and a total floor area of c. 16,283.20sq m, with screened plant at roof level. It will be located within the existing walled garden area (RPS 012) and will incorporate the historic walls and bell tower structures (RPS 013.) The facility will be arranged as a single continuous block comprising 7 no. In-patient wards. The form of the building will create 10 no. new internal courtyards at ground floor & 2 no. terraces at first floor (c. 3696.00 sqm in total); with c. 62lin.m of the north garden wall to be demolished and this stone reincorporated into the proposed hospital structures.

The proposed development also includes for the alteration, refurbishment and conversion of the existing structures within the historic farmyard enclosure (RPS 008), including: coach house building (c. 312.95 sq m) to provide a new consultancy suite (c. 599.50 sq m), including c. 71.5 sq m café; Alteration, conversion and refurbishment of existing barn (c. 183.65 sq m) to form a maintenance facility building and associated offices (c. 374.00 sqm); The demolition of an existing contemporary shed within the historic farm yard (c. 163.75 sq m) and construction of a new single storey energy centre building (c. 114.50 sq m), within the historic farmyard enclosure. In total, c. 210.80 sq m of structures are required to be demolished within the walled garden and farmyard enclosure areas to facilitate the proposed development.

The proposed development also includes the removal and relocation of the existing southern boundary wall to Lucan Road (c. 190lin.m) (Regional Road Number Ref. R835) set back from the existing boundary to facilitate the future junction improvement works to the Lucan Road and Chapel Hill Junction. The junction upgrade works do not form part of this application and will be carried out by South Dublin County Council. The proposed development also comprises the demolition of the existing 2 no. Dean Clinic buildings (single storey and single storey with dormer level) at the existing entrance to the site via the Lucan Road (c. 221.15 sq m and c. 60 sq m respectively) to facilitate the construction of revised access arrangements and widening of the access to the Lucan Road.

The new mental health facility will provide adult and adolescent in-patient service rooms; Adult and adolescent day services rooms; Patient care services rooms; Patient pharmacy; Laboratories; Staff and patient canteen facilities; Consultant and hospital administration accommodation; Staff welfare facilities; Reconfigured and additional new car and cycle parking facilities (with revised total of 214 no. car parking spaces, 2 no. bus parking spaces and 160 no. secure cycle parking spaces); Signage and wayfinding.

The proposed development also includes private and secure patient gardens (c. 9,982 sq m); Plant and associated tanks; Public lighting; All piped infrastructure and ducting and redirection works; Tree removal, including tree removal within the Proposed Liffey Valley Natural Heritage Area (pNHA - 000128); Redirection and undergrounding of existing overhead power lines from the Lucan East 38KV Substation to the existing hospital facility; Controlled access barriers; 2 no. Secure cycle parking stores total c. 107.10 sq m; EV charging facilities; 2 no. Attenuation tanks; Rainwater harvesting tanks; PVs; SUDs including extensive green roof provision; Boundary treatments, including new boundary treatments and the repair and refurbishment of existing stone boundary walls; Waste marshalling compound storage area; Changes in level and retaining walls; Internal roads and paths, including vehicle set down areas; Site clearance works; Services provision and related ducting, piping and cabling; and all associated site development and excavation works above and below ground. Upon completion, the mental health facility will cumulatively provide 214 no. inpatient beds across the campus, including existing and proposed inpatient beds.

### 5.3 ST. EDMUNDSBURY HOSPITAL: SITE WIDE WORKS SUMMARY

St. Edmundsbury House is a protected structure of high architectural and historical significance, forming the principal element within the historic complex. Its significance derives from its architectural form, historic fabric, internal plan arrangement and its relationship to the wider estate.

The proposed works to the building are primarily internal and relate to its adaptation for continued healthcare use. These include reconfiguration of internal spaces, insertion and removal of partitions, installation of new services and finishes, and façade remediation following the removal of the existing ward extension.

While the majority of interventions are limited in extent, certain works will result in loss of historic fabric and alteration to the historic plan form. These impacts are balanced by the positive effect of securing the long-term use, repair and maintenance of the building. These works are assessed in table 2 below.

Table 2 – Works to St. Edmundsbury Hospital

Ref	Proposed Works	Impact	Reasoning	Mitigation
1	Demolition of modern section of entrance wall	Slight Positive	Removal of non-historic fabric improves legibility of historic boundary	Careful dismantling; protect retained historic fabric
2	Demolition of ward extension	Moderate Positive	Removal of large modern accretion enhances setting of St. Edmundsbury House	Controlled demolition; façade remediation
3	Demolition of shed north-west of house	Neutral to Slight Positive	Removal of minor non-historic structure with limited heritage value	Avoid damage to surrounding historic fabric
4	Demolition of modern ancillary buildings	Slight to Moderate Positive	Improves setting of historic farmyard complex	Controlled demolition; protect adjacent structures
5	Demolition of modern outbuildings	Slight Positive	Removal of visually intrusive elements	Careful sequencing of works
6	Demolition of concrete block boundary walls	Slight Positive	Improves character of site and reinstates historic boundary legibility	Salvage materials where feasible
7	Demolition of farm building (NIAH)	Moderate Adverse	Permanent loss of historic structure of regional significance	Full recording; salvage and reuse of materials

Ref	Proposed Works	Impact	Reasoning	Mitigation
8	Demolition of Dean Clinic buildings	Neutral to Slight Positive	Removal of non-historic structures to facilitate access improvements	Ensure works do not affect nearby historic fabric
9	Revised access and entrance widening	Slight Adverse	Alters historic approach and setting along Lucan Road	Sensitive design of entrance; retain boundary character

### 5.1 ST. EDMUNDSBURY HOUSE (RPS 003)

St. Edmundsbury House is a protected structure of high architectural and historical significance, forming the principal element within the historic complex. Its significance derives from its architectural form, historic fabric, internal plan arrangement and its relationship to the wider estate.

The proposed works to the building are primarily internal and relate to its adaptation for continued healthcare use. These include reconfiguration of internal spaces, insertion and removal of partitions, installation of new services and finishes, and façade remediation following the removal of the existing ward extension.

While the majority of interventions are limited in extent, certain works will result in loss of historic fabric and alteration to the historic plan form. These impacts are balanced by the positive effect of securing the long-term use, repair and maintenance of the building.

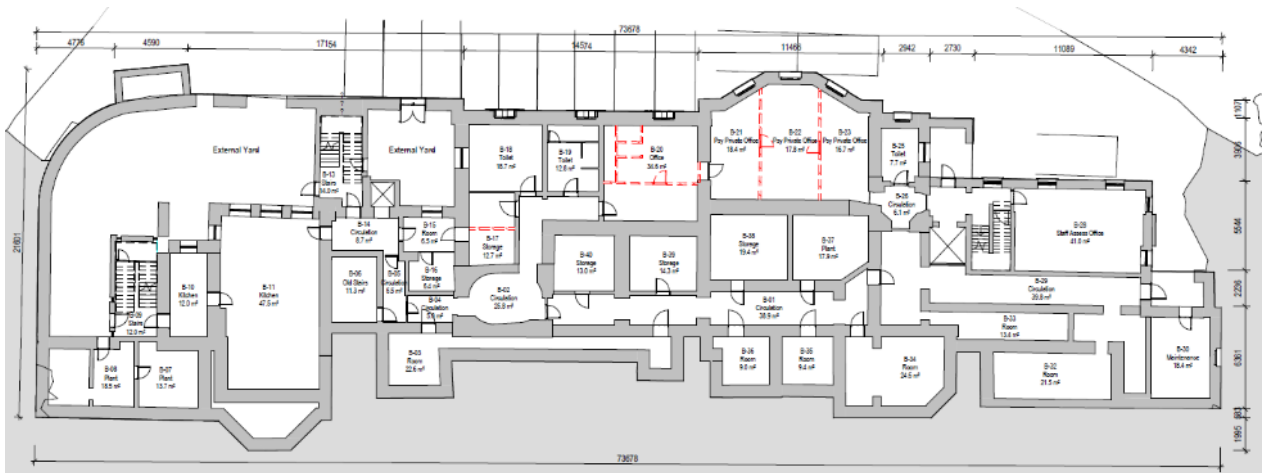


Fig.16: Basement demolition plan. Source: TOT Architects. Dashed red lines indication partitions removal.

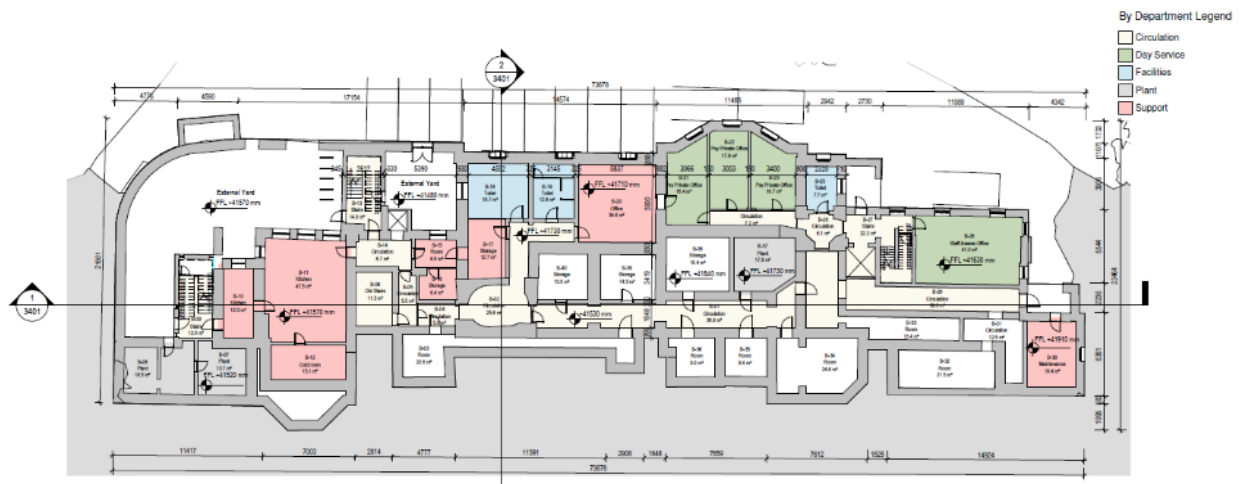


Fig.17: Basement proposed plan. Source: TOT Architects.

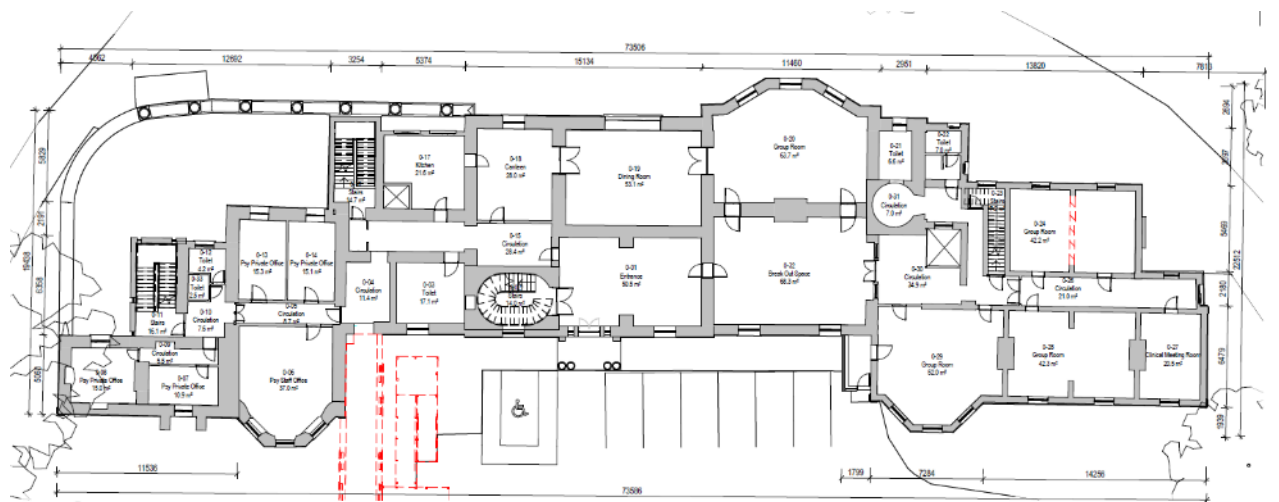
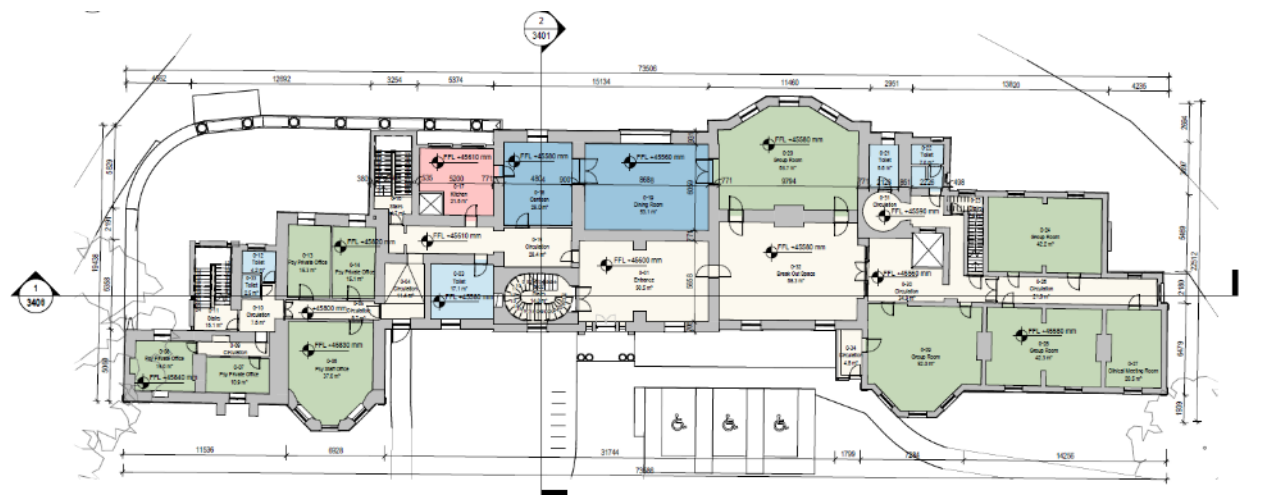


Fig.18: Ground floor demolition plan. Source: TOT Architects. Dashed red lines indication partitions removal.





Ref	Proposed Works	Impact	Reasoning	Mitigation
1	Repainting internal walls	Slight Positive	Improves condition and presentation of interior finishes without loss of historic fabric	Use breathable paints; avoid unnecessary preparation
2	Removal of non-historic wallpaper and repainting	Slight Positive	Removal of inappropriate finishes enhances character	As above
3	Replacement of modern wall tiles	Neutral to Slight Adverse	No loss of historic fabric where substrate is modern; risk to breathability	Avoid impermeable finishes; use compatible materials
4	Removal of modern tiles and repainting	Neutral	No impact on historic fabric	Retain underlying fabric
5	Application of new tiles to walls	Moderate Adverse	Risk of covering/removal of historic finishes, skirting and joinery	Avoid tiling on historic walls; retain detailing; use vapour-permeable systems
6	Localised tile replacement	Neutral	Limited intervention to non-historic fabric	Match existing; avoid damage
7	Partial tile removal and repainting	Neutral	No loss of historic fabric	Careful removal
8	Removal of hygienic finish and repainting	Neutral	No impact on historic fabric	Use breathable finishes
9	Vinyl flooring over existing tiles	Slight Adverse	Potential concealment of underlying fabric	Ensure reversibility
10	Replacement of vinyl flooring (historic skirting affected)	Slight Adverse	Risk of damage to historic joinery	Protect and reinstate skirting

Ref	Proposed Works	Impact	Reasoning	Mitigation
11	Replacement of vinyl flooring (modern skirting)	Neutral to Slight Adverse	Limited heritage impact	Careful installation
12	Replacement of carpet with vinyl/tile	Slight Adverse	Risk to skirting and detailing	Protect edges and junctions
13	Replacement of carpet (historic skirting lifted)	Slight Adverse	Risk of damage to original skirting	Specialist joinery handling
14	Replacement of carpet (modern skirting)	Neutral	No loss of historic fabric	Standard good practice
15	Replacement of vinyl with tiled floor	Slight Adverse	Change in finish and potential impact on substrate	Ensure compatibility
16	Vinyl over historic timber floor	Slight Adverse	Conceals historic fabric and alters breathability	Maintain reversibility; avoid fixings
17	Vinyl over concrete slab	Neutral	No heritage impact	—
18	Vinyl over historic ceramic tiles	Slight to Moderate Adverse	Conceals historic surface and affects legibility	Repair tiles; ensure reversible overlay
19	Replacement of non-historic timber floor	Slight Adverse	Limited heritage value but intervention required	Careful detailing
20	Removal of historic partition walls	Moderate Adverse	Loss of historic plan form and fabric	Minimise removal; record layout; retain traces

Ref	Proposed Works	Impact	Reasoning	Mitigation
21	Removal of non-historic partitions	Neutral	No loss of historic fabric	—
22	New openings in historic partitions	Moderate Adverse	Removal of fabric and alteration to plan form	Minimise intervention; salvage material
23	New partitions (independent construction)	Neutral	No direct impact on historic fabric	Ensure reversibility
24	New partitions affecting historic fabric	Slight to Moderate Adverse	Potential impact on cornices/skirting	Scribed installation; reversible fixing
25	Widening of door opening (non-original)	Neutral to Slight Positive	Opportunity to improve proportions	Careful detailing; conservation oversight
26	New sanitary installations	Slight Adverse	Localised intervention for services	Use existing routes; minimise cutting
27	Replacement of sanitary fittings	Slight Adverse	Minor intervention	As above
28	Removal of sanitary fittings	Slight Adverse	Localised impact on fabric	As above
29	Removal of kitchen fittings	Slight Adverse	Minor intervention	Careful removal
30	Repainting ceilings	Slight Adverse	Risk of covering historic finishes	Use breathable coatings

Ref	Proposed Works	Impact	Reasoning	Mitigation
31	Replacement of suspended ceilings	Slight Adverse	Minor alteration to interior character	Maintain access and reversibility
32	Replacement of plasterboard ceilings	Slight Adverse	Limited impact	Careful detailing
33	Installation of electrical services	Slight Adverse	Potential disturbance to fabric	Surface or discreet routing
34	Installation of new lighting	Slight Adverse	Visual and physical intervention	Minimise fixings
35	Installation of water services	Slight Adverse	Localised fabric disturbance	Route through non-sensitive areas

### 5.1.1 IMPACT SUMMARY

The proposed works to the Barn will result in a number of moderate adverse impacts arising from alterations to the building fabric and form, including the formation of new openings, replacement of the roof structure, and insertion of a new floor and stair.

These interventions will alter the architectural character and internal spatial quality of the building. However, the Barn is currently in a condition of partial deterioration and limited use.

The proposed conversion will secure the long-term use and maintenance of the structure, resulting in a moderate positive effect in terms of its overall conservation. On balance, the development will result in a mixed impact, with moderate adverse effects offset by the long-term benefit of reuse.

## 5.2 COACH HOUSE (RPS 008)

The Coach House forms part of the protected farmyard complex (RPS 008) and is of architectural and historical significance as a service building associated with the historic estate. The structure retains its original form and contributes to the character and spatial arrangement of the farmyard enclosure.

The proposed development includes the conversion of the Coach House to provide a consultancy suite and café. These works involve alteration of existing openings, formation of new openings, insertion of new structural elements including floors and stairs, and upgrading of the building fabric and services.

While the building is in a condition that requires intervention to facilitate reuse, the proposed works will result in alterations to its historic fabric and character. These impacts are balanced by the positive effect of bringing the structure into active use and securing its long-term conservation

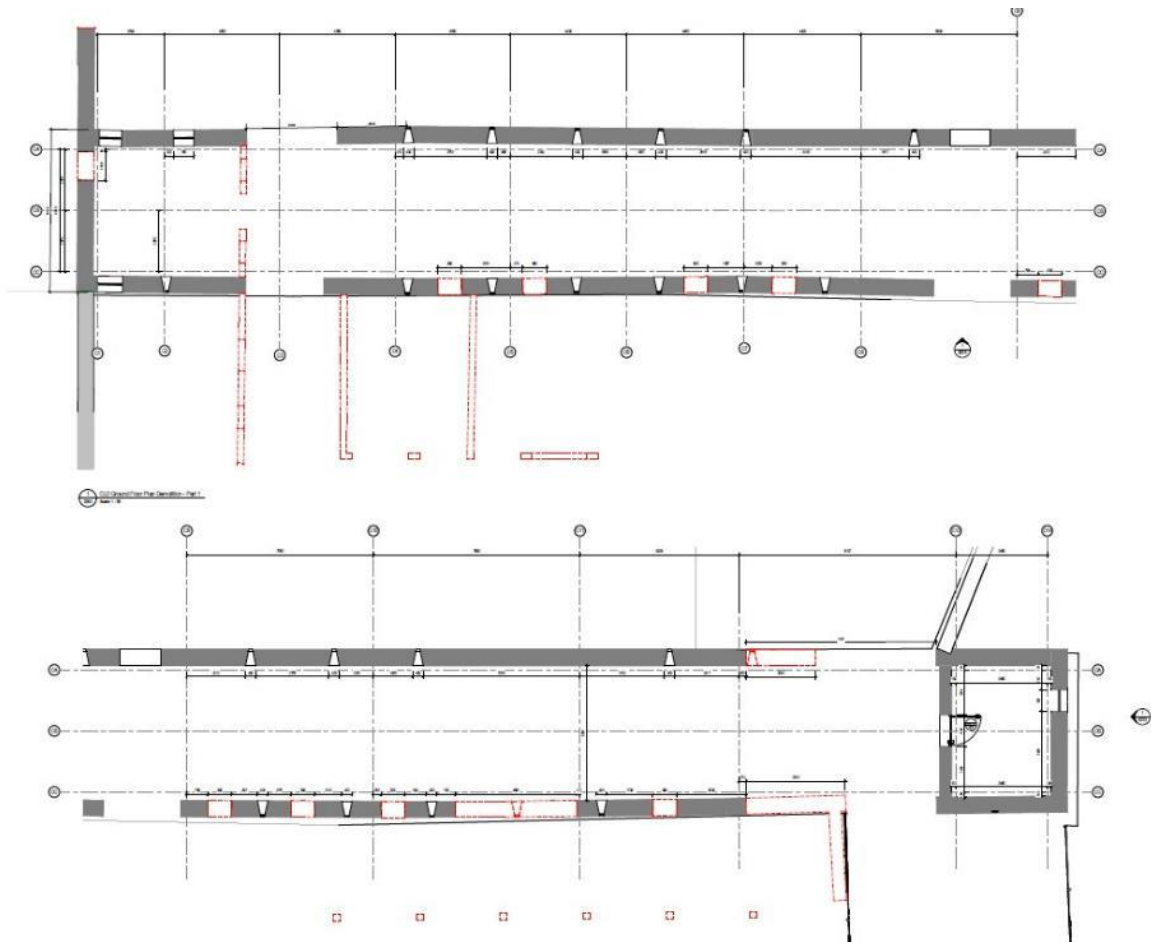


Fig.22: Demolition ground floor plan. Above: Part 1. Bottom: Part 2. Source: TOT Architects. Dashed red lines indication partitions removal.

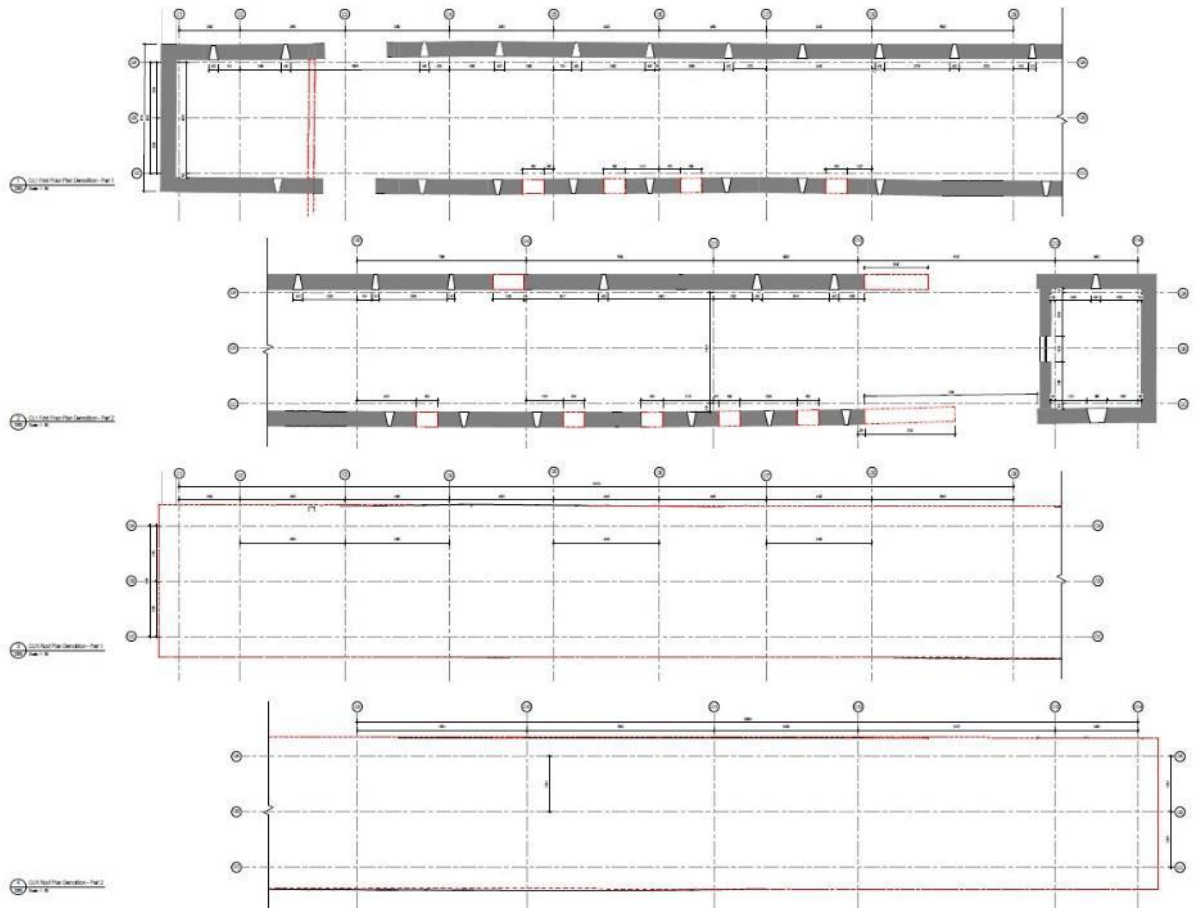


Fig.23: Demolition first floor and roof plan. From top to bottom: first floor parts 1 & 2, roof plans parts 1&2. Source: TOT Architects. Dashed red lines indication partitions removal.

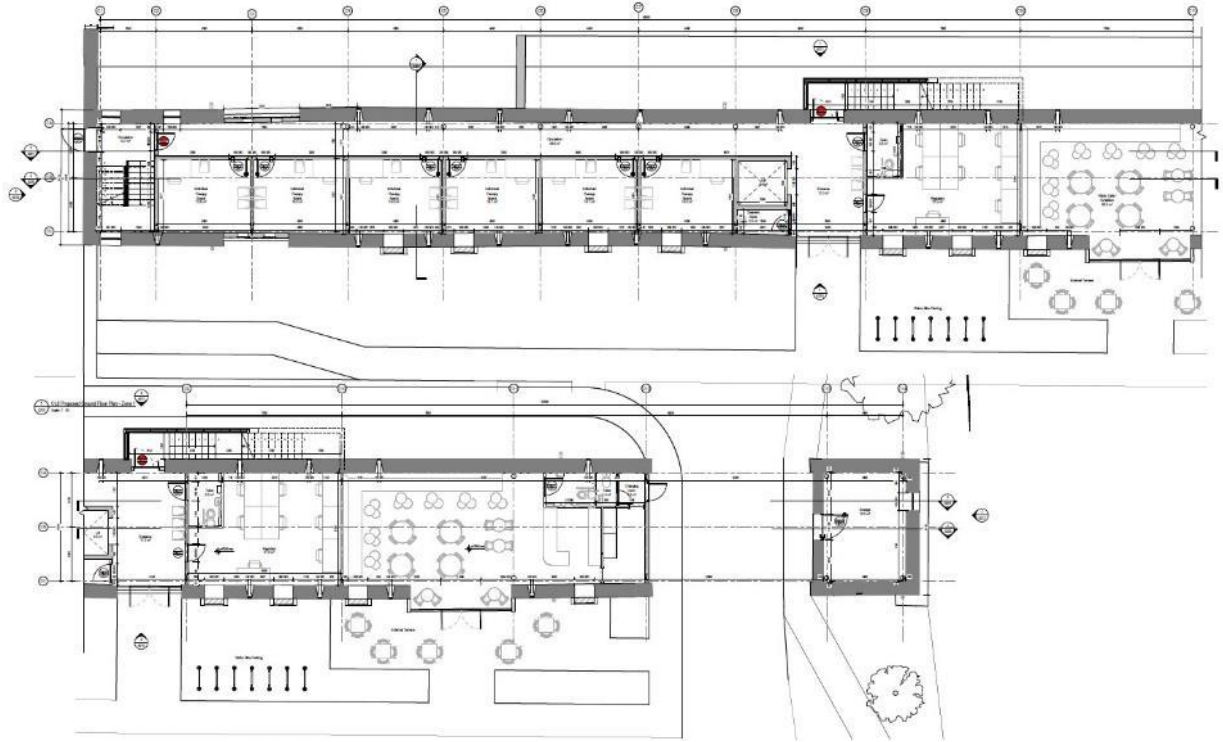


Fig.24: Proposed ground floor plan. Above: Part 1. Bottom: Part 2.

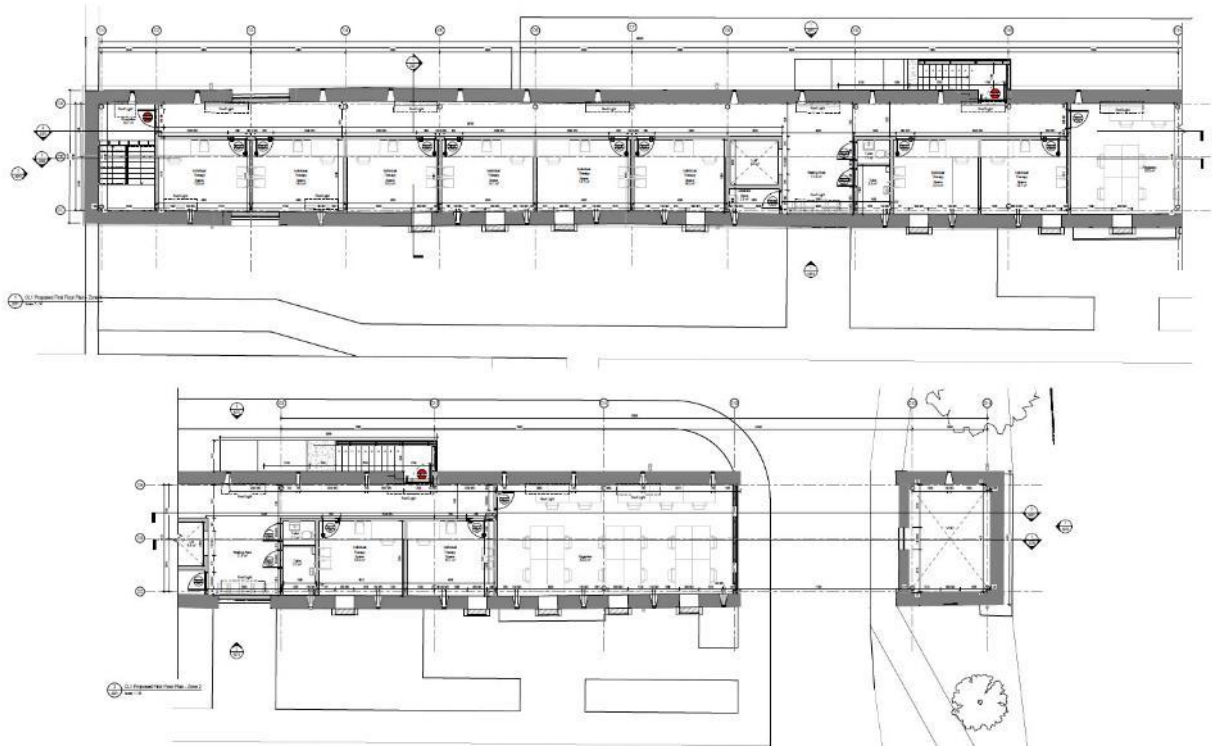


Fig.25: Proposed first floor plan. Above: Part 1. Bottom: Part 2.

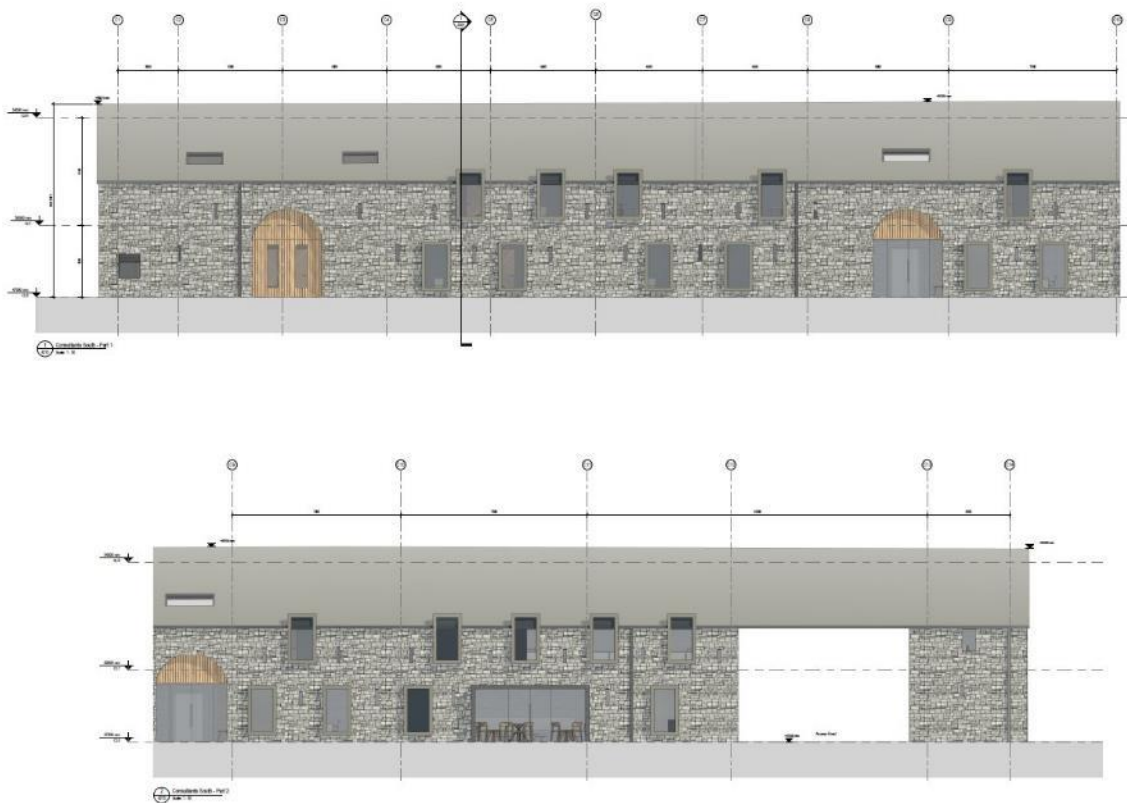


Fig.26: Proposed south elevation. Above: Part 1. Bottom: Part 2.

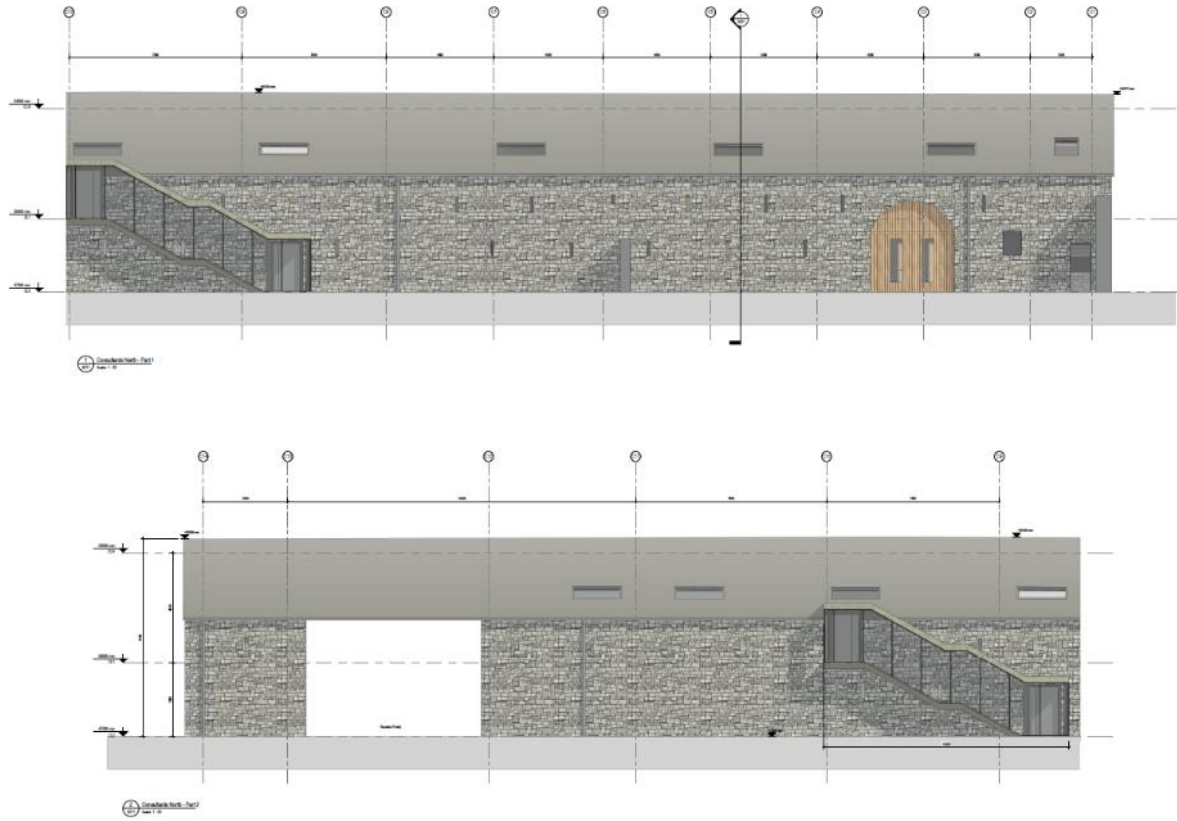


Fig.27: Proposed north elevation. Above: Part 1. Bottom: Part 2.

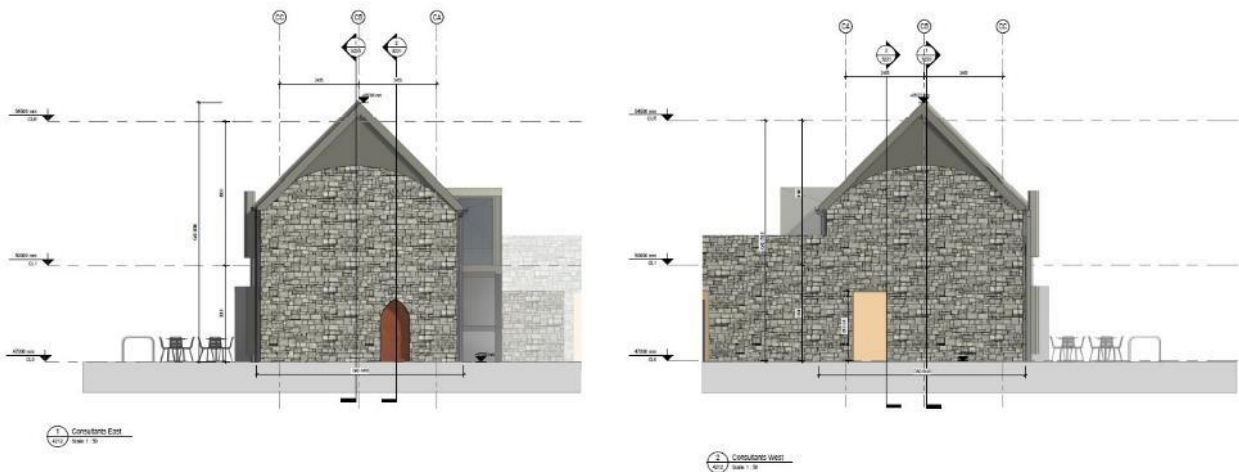


Fig.28: Proposed east west elevations. Above: Part 1. Bottom: Part 2.

Ref	Proposed Works	Impact	Reasoning	Mitigation
1	Demolition of modern concrete structures	Slight Positive	Removal of non-historic fabric improves legibility of original structure	Careful demolition; protect adjacent historic fabric
2	Removal of concrete slab	Neutral to Slight Positive	Removal of later intervention; limited heritage value	Avoid damage to wall bases
3	Replacement of corrugated roof with slate roof	Moderate Positive	Enhances character and weathering; reinstates appropriate material	Reuse salvaged slates where possible; match profile
4	Repair of masonry	Slight Positive	Improves condition of historic fabric	Use lime mortar; retain existing stone
5	Formation of new window openings	Moderate Adverse	Removal of historic masonry and alteration to façade composition	Minimise number and size; ensure proportional design
6	Formation of new door openings	Moderate Adverse	As above; alters external character	As above
7	Widening of wall opening to laneway	Moderate Adverse	Removal of fabric and change to spatial arrangement	Minimise intervention; retain maximum masonry
8	New opening to west elevation	Slight to Moderate Adverse	Localised loss of fabric; visual change	Careful siting and detailing
9	Installation of external stair	Moderate Adverse	Introduces visually intrusive modern element altering simple form	Lightweight construction; minimise fixings; sensitive design

Ref	Proposed Works	Impact	Reasoning	Mitigation
10	Insertion of new first floor	Moderate Adverse	Alters internal volume and spatial character	Independent structure where possible; reversible design
11	Installation of internal stair	Moderate Adverse	Introduces new structural and visual element	Locate in less sensitive areas; minimise fabric loss
12	Removal of non-historic partitions	Neutral	No loss of historic fabric	—
13	Installation of services	Slight Adverse	Localised disturbance to fabric	Route discreetly; avoid chasing masonry
14	Installation of mechanical systems	Slight Adverse	Visual and physical intervention	Integrate within new construction zones
15	Installation of structural steel frame	Neutral to Slight Adverse	Potential intervention into historic fabric depending on fixing	Use independent support; minimise connections
16	Installation of new concrete slab	Neutral to Slight Adverse	Potential impact on wall bases and moisture behaviour	Ensure breathable build-up; avoid bridging damp
17	Installation of new floor finishes	Slight Adverse	Minor intervention affecting internal character	Use compatible materials
18	Installation of windows and doors	Slight Adverse	Replacement introduces new elements	Match proportions; avoid pastiche

Ref	Proposed Works	Impact	Reasoning	Mitigation
19	Installation of insulation	Slight Adverse	Potential impact on breathability	Use vapour-permeable systems
20	Installation of internal finishes	Slight Adverse	Minor alteration to internal character	Use appropriate finishes
21	Installation of café fit-out	Slight Adverse	Introduction of new use-related elements	Ensure reversibility; avoid fixing into historic fabric
22	External landscaping works	Slight Adverse	Minor impact on setting	Respect existing layout and boundaries

### 5.2.1 IMPACT SUMMARY

The proposed works to the Coach House will result in a number of moderate adverse impacts arising from the formation of new openings, insertion of new structural elements including floors and stairs, and the introduction of an external stair.

These interventions will alter the character and fabric of the building, particularly in relation to its external appearance and internal spatial arrangement.

However, the building is currently underutilised and requires intervention to facilitate viable use. The proposed development will secure the long-term use, repair and maintenance of the structure, resulting in a **moderate to significant positive effect** in terms of its overall conservation.

On balance, the development will result in a **mixed impact**, with moderate adverse effects offset by the long-term benefits of adaptive reuse.

### 5.3 BOUNDARY WALL WITH BELL TOWER (RPS 013)

The boundary wall and bell tower (RPS 013) form a significant component of the historic site, contributing to its spatial organisation, enclosure and character. The wall defines internal circulation routes and enclosed spaces, while the bell tower represents a distinctive architectural feature within the complex.

The proposed development includes the incorporation of sections of the boundary wall and bell tower into the new adult inpatient facility constructed within the walled garden. This will involve the formation of new openings, attachment of new structural elements, and alteration of the relationship between the wall and surrounding spaces.

These works will result in a change to the historic function and spatial character of the wall and bell tower, which currently form part of the external boundary of the historic complex.

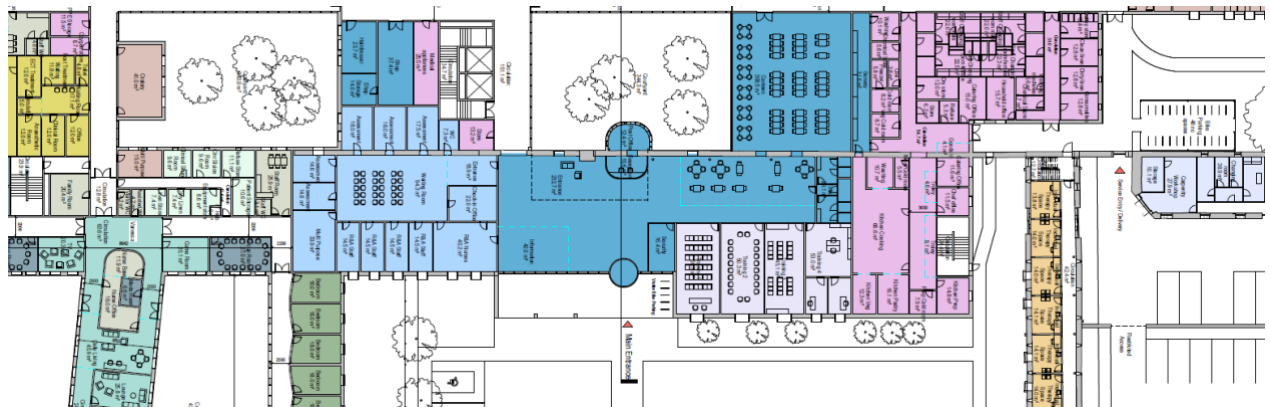


Fig.29: Proposed ground floor site plan excerpt. Source: TOT Architects.

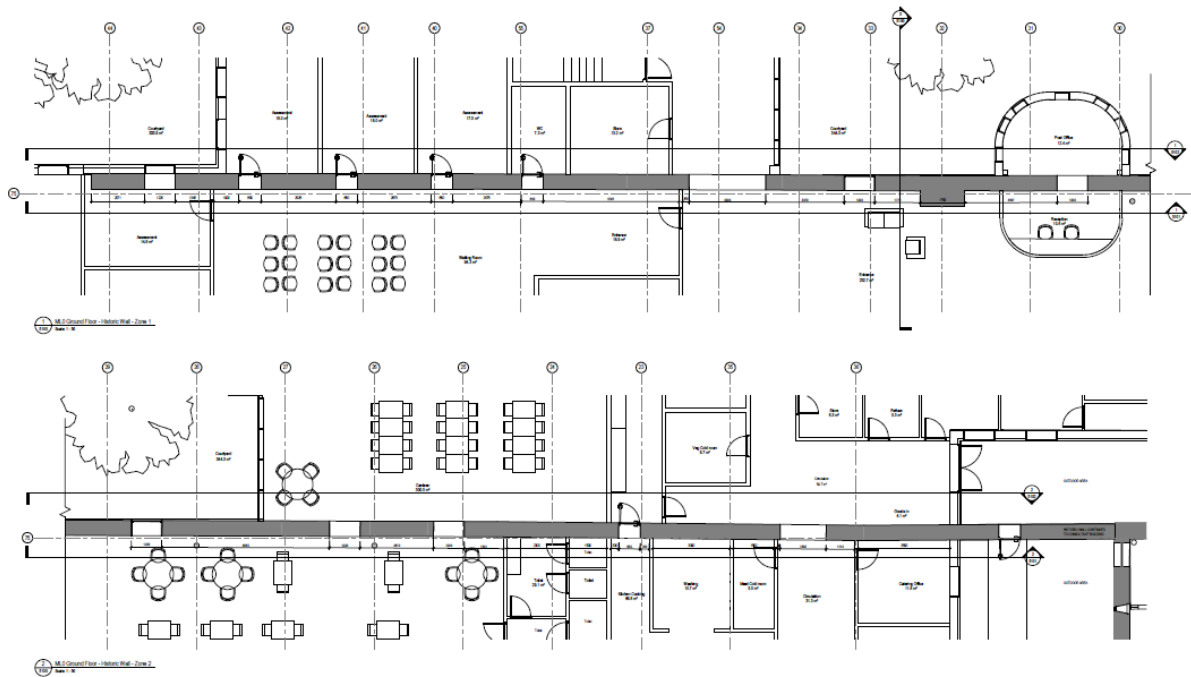


Fig.30: Proposed ground floor plan. Above: Part 1. Bottom: Part 2. Source: TOT Architects

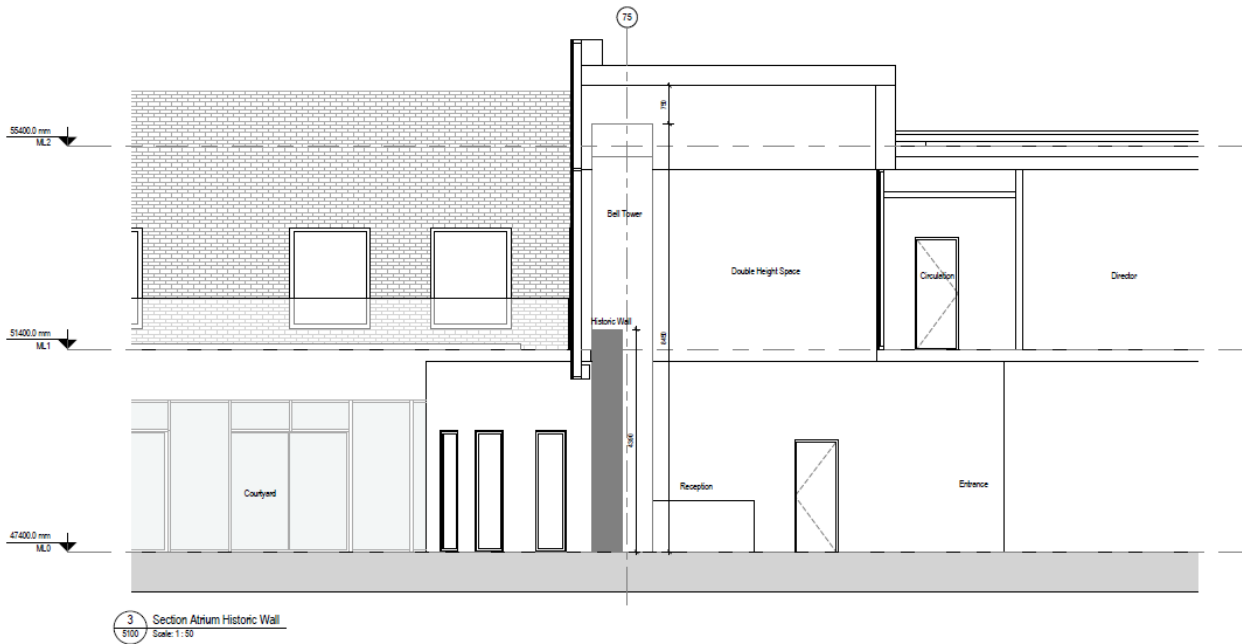


Fig.31: Proposed section through. Above: Part 1. Bottom: Part 2. Source: TOT Architects.

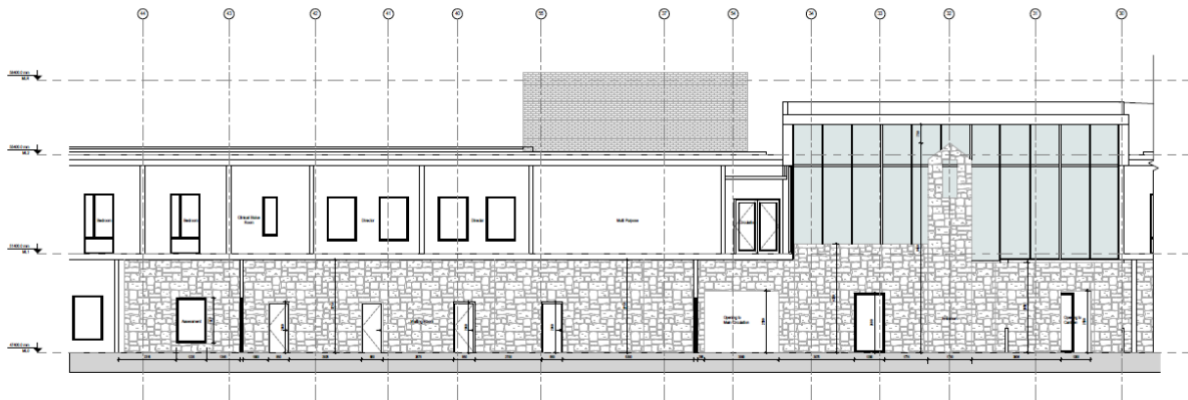


Fig.32: Proposed east elevation, Part 1. Source: TOT Architects

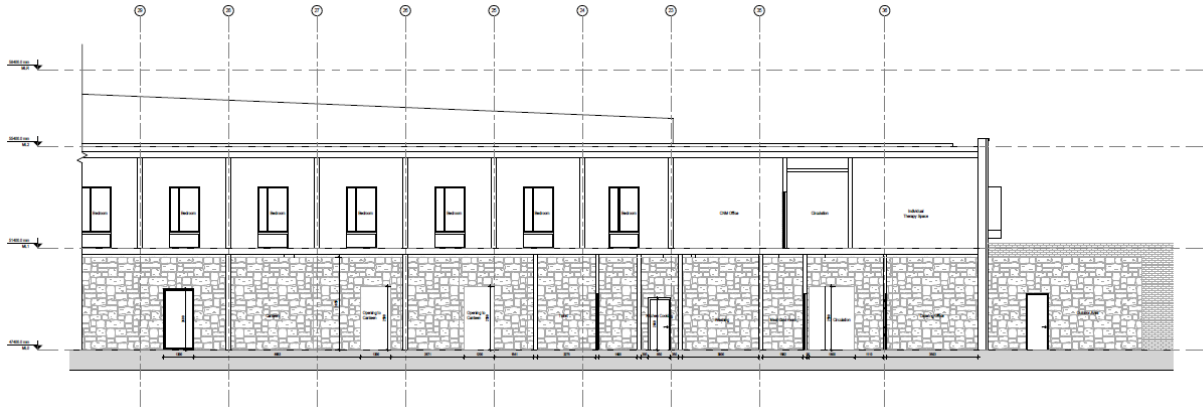


Fig.33: Proposed east elevation, Part 2. Source: TOT Architects

R	Proposed Works	Impact	Reasoning	Mitigation
1	Removal of non-historic louvres	Neutral to Slight Positive	Removal of later additions improves clarity of original form	Careful removal; avoid damage to masonry
2	Enlargement of existing window openings	Slight to Moderate Adverse	Removal of original masonry and alteration to façade composition	Minimise extent; maintain proportions
3	Formation of new door opening	Moderate Adverse	Loss of historic fabric and alteration to external character	Locate in less sensitive elevation; minimise size
4	Formation of new window openings	Moderate Adverse	As above; introduces new elements to façade	Careful siting and detailing
5	Repair of masonry	Slight Positive	Improves condition and stability of fabric	Use lime mortar; retain existing stone
6	Replacement of roof structure	Moderate Adverse	Loss of historic roof fabric and alteration of structure	Retain elements where feasible; match original form
7	Increase in ridge height	Moderate Adverse	Alters building profile and visual character	Keep increase minimal; respect original proportions
8	Removal of internal partitions (non-original)	Neutral	No loss of historic fabric	—
9	Insertion of new partitions	Slight Adverse	Minor alteration to internal arrangement	Ensure reversibility

R	Proposed Works	Impact	Reasoning	Mitigation
10	Insertion of new first floor	Moderate Adverse	Changes internal volume and spatial character	Use independent structure; minimise fixings
11	Installation of internal stair	Moderate Adverse	Introduces new structural and visual element	Locate in least sensitive area
12	Replacement of floor slab	Neutral to Slight Adverse	Potential impact on wall bases and moisture behaviour	Use breathable build-up; avoid damp bridging
13	Installation of services	Slight Adverse	Localised disturbance to fabric	Route discreetly; avoid chasing masonry
14	Installation of mechanical systems	Slight Adverse	Visual and physical intervention	Integrate within new construction
15	Installation of windows and doors	Slight Adverse	Introduction of new elements	Match proportions; avoid pastiche
16	Installation of insulation	Slight Adverse	Potential impact on breathability	Use vapour-permeable systems
17	Internal finishes	Slight Adverse	Minor change to internal character	Use appropriate materials

### 5.3.1 IMPACT SUMMARY

The proposed works to the boundary wall and bell tower will result in a number of moderate adverse impacts arising from the formation of new openings, physical attachment of new structural elements, and incorporation of the structures into the new hospital building.

These interventions will alter the historic function of the wall as an external boundary and change its spatial and visual relationship within the site. The bell tower, as a prominent architectural feature, will also experience a change in context as a result of the surrounding development.

While mitigation measures will reduce the extent of physical intervention and maintain visual legibility, the change in spatial character cannot be fully mitigated. The resulting impact is therefore considered to be moderate adverse.

### 5.4 WALLS OF THE WALLED GARDEN (RPS 012)

The walled garden (RPS 012) forms a key component of the historic site, providing a defined enclosed space associated with the original estate layout. The enclosing stone walls are of architectural and historical significance and contribute to the spatial structure and legibility of the complex.

The proposed development includes the construction of a new adult inpatient facility within the walled garden enclosure. This will involve the partial demolition of sections of the existing boundary walls, including approximately 62 linear metres of the north wall, and the alteration of the enclosure to accommodate the new building.

These works will result in a change to the integrity and character of the walled garden as a defined historic space.



Fig.34: Proposed ground floor plan excerpt showing north wall of walled garden. Source: TOT Architects

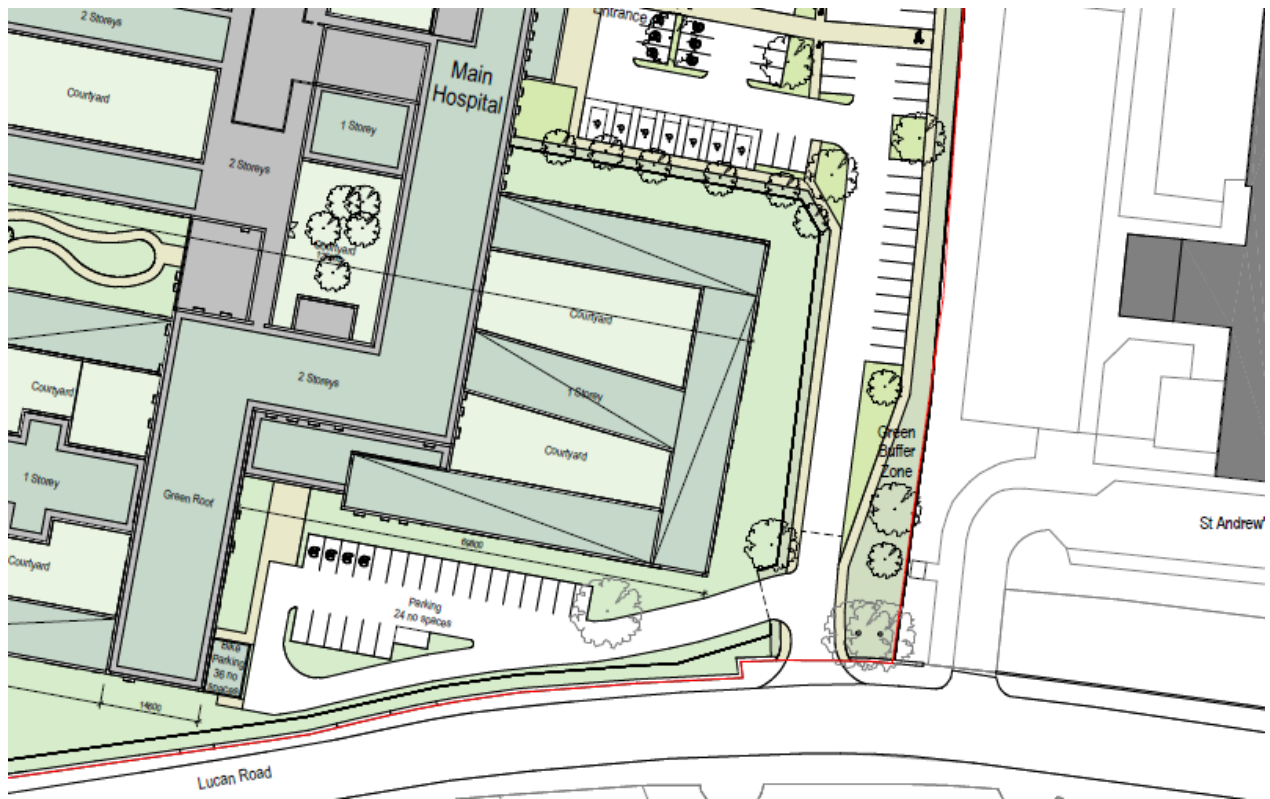


Fig.35: Proposed site plan excerpt showing area where the East wall of the Walled Garden will be removed. Source: TOT Architects

Ref	Proposed Works	Impact	Reasoning	Mitigation
1	Formation of new openings in boundary wall	Moderate Adverse	Removal of historic masonry and interruption of wall continuity	Minimise number and size of openings; retain as much fabric as possible
2	Incorporation of boundary wall and bell tower into new hospital building	Moderate Adverse	Change in historic function from external boundary to internalised element; alteration of spatial character and setting	Maintain visual legibility; avoid full enclosure where possible; clearly distinguish new work
3	Attachment of new partitions and structural elements to wall	Slight to Moderate Adverse	Physical intervention and potential obscuring of historic fabric	Minimise fixings; use reversible connections; avoid covering significant features
4	Introduction of upper level elements adjacent to wall	Moderate Adverse	Alters visual relationship and prominence of wall and bell tower	Set back new elements where feasible; maintain visual prominence of historic fabric
5	Demolition of approximately 62	Moderate to	Permanent loss of historic fabric and break in continuity of	Minimise extent of removal; record wall prior

	linear metres of the north wall	Significant Adverse	enclosure; reduces integrity of protected structure	to demolition; salvage and reuse stone
6	Alteration of wall sections (if applicable)	Moderate Adverse	Localised removal and modification of historic fabric affecting enclosure	Limit interventions; retain maximum fabric
7	Construction of new hospital building within walled garden	Moderate Adverse	Introduction of large structure alters spatial character and reduces legibility of enclosure as a distinct historic space	Maintain visibility of retained walls; avoid unnecessary additional openings; clearly distinguish new from historic fabric
8	Reuse of salvaged stone within new development	Slight Positive	Retains material continuity and reference to original structure	Ensure appropriate and legible reuse

#### 5.4.1 IMPACT SUMMARY

The proposed development will result in a number of moderate to significant adverse impacts on the walled garden arising from the demolition of sections of the enclosure and the construction of a new hospital building within the space.

The removal of approximately 62 linear metres of the north wall will result in the permanent loss of historic fabric and a break in the continuity of the enclosure. The insertion of a large building within the garden will alter its spatial character and reduce its legibility as a distinct historic space.

While mitigation measures, including the reuse of salvaged materials and retention of portions of the enclosure, will reduce the extent of impact, the loss of fabric and change in spatial character cannot be fully mitigated.

The resulting impact is therefore considered to be moderate to significant adverse.

#### 5.5 FARM BUILDING (NIAH 11202008 – REGIONAL SIGNIFICANCE)

The farm building located within the site is identified in the National Inventory of Architectural Heritage (NIAH) as being of regional significance. It forms part of the historic agricultural infrastructure associated with the estate and contributes to the understanding of the site’s historic function and development.

The proposed development includes the complete demolition of this structure in order to facilitate the construction of the new hospital building.

Ref	Proposed Works	Impact	Reasoning	Mitigation
1	Demolition of farm building	Moderate Adverse	Complete loss of a structure of regional significance resulting in permanent	Full measured and photographic recording; salvage

Ref	Proposed Works	Impact	Reasoning	Mitigation
			removal of historic fabric and loss of part of the historic agricultural complex	and reuse of materials where feasible

### 5.5.1 IMPACT SUMMARY

The proposed demolition of the farm building will result in a permanent moderate adverse impact due to the complete loss of a structure of regional significance. While recording and salvage will retain a record of the building and allow limited reuse of materials, the loss of the structure itself cannot be mitigated.

This represents one of the principal adverse impacts arising from the proposed development.

## 5.6 SOUTHERN BOUNDARY WALL

The proposed development includes the removal and relocation of approximately 190 linear metres of the southern boundary wall along Lucan Road.

While the associated junction improvement works do not form part of this application, the removal and reconstruction of the boundary wall itself is included within the proposed development.

A detailed Architectural Heritage Impact Assessment of these works has been prepared separately.

For the purposes of this report, it is noted that the removal and relocation of the boundary wall will result in a **moderate adverse impact** due to the alteration of the historic boundary alignment and loss of original fabric.

Mitigation measures, including careful dismantling, recording, and reconstruction using salvaged materials, will reduce the extent of impact, but the change in alignment and character cannot be fully mitigated.

## 5.7 POTENTIAL CUMULATIVE IMPACTS

The proposed development has been assessed in combination with other existing, permitted and proposed developments within the surrounding area in order to determine whether cumulative impacts on the architectural heritage resource may arise.

The primary heritage impacts associated with the proposed development relate to:

- the demolition of a historic farm building;
- partial removal of sections of the protected walled garden;
- alteration and incorporation of the boundary wall and bell tower; and
- internal and external alterations to protected structures within the site.
- These impacts are **site-specific** and are confined to the St. Edmundsbury complex.

The surrounding area comprises a mixture of suburban development and institutional uses. While development has occurred in the wider area, no other known developments give rise to impacts on the same heritage assets or materially affect their setting in a manner that would combine with the proposed development to create additional or amplified effects.

The proposed works do not result in:

- cumulative loss of protected structures beyond the site;
- cumulative erosion of historic landscape character; or
- incremental degradation of the setting of heritage assets in the wider area.

Accordingly, no significant cumulative impacts on the architectural heritage resource have been identified.

## 5.8 DO NOTHING IMPACT

The Boundary Wall and Bell Tower, the East Wall of the Walled Garden, the Barn and the Coach House are in urgent need of conservation and repair works. If the Barn and the Coach House are left vacant with no designated future use, they will fall into further disrepair and dereliction. In the absence of the proposed development, the site would remain in its current condition, with limited intervention beyond routine maintenance.

St. Edmundsbury House would likely continue in use, however opportunities for comprehensive refurbishment and upgrade of the building fabric and services would be reduced.

The Barn and Coach House, which are currently underutilised and in varying states of condition, would remain at risk of ongoing deterioration due to lack of viable long-term use. Without intervention, these structures may continue to degrade over time, resulting in incremental loss of historic fabric.

The walled garden and boundary structures would remain in place, but would not benefit from coordinated conservation works or investment associated with the proposed development.

While the do-nothing scenario would avoid the adverse impacts associated with demolition and alteration, it would also fail to secure the long-term conservation, reuse and active management of key historic structures within the site.

## 6 CONSERVATION STRATEGY

The following mitigation measures are proposed to reduce the impact of the development on the architectural heritage resource. These measures should be read in conjunction with:

- Carrig Conservation Volume 1: Architectural Inventory, Condition Survey and Appraisal
- Carrig Conservation Volume 2: Conservation Repair Methodology and Specification

### 6.1 GENERAL MITIGATION MEASURES

All interventions have been discussed as a part of regular design team meetings to consider the rationale of decisions with the view to balance the needs of the brief, economy, practicality, health and safety, accessibility and conservation. These meetings should be considered part of the assessment/mitigation process. Various mitigants have been put in place to ensure that the historic fabric and special architectural character of the complex's significant buildings and site are preserved during the repair and upgrading works

#### 6.1.1 GENERAL MITIGATION.

General mitigation measures to be applied to all interventions require that:

- Proposed conservation works must be carried out by an experienced main contractor and specialist subcontractors or crafts people.
- The delivery of a heritage induction to all contractors and subcontractors should be carried out.
- Where repair and upgrading to historic fabric is required, the conservation method statement and guidelines of product manufacturers must be followed by the contractor so that works can be carried out appropriately.

- Works must be supervised by the design team.
- Works have been carefully designed and are guided by the international conservation principles.
- Historic fabric will be adequately protected during all site stages.
- Demolitions and strip out will be guided by the design team and carefully conducted to ensure the protection of historic fabric and features.
- To prevent damage to adjacent fabric or substrates, where possible, power tools will be avoided.
- In so far as is possible, MEP services will use pre-existing pathways or joist notching. New services will also be surface-mounted to ensure reversibility.
- Where historic building fabric cannot be reused within the complex for repairs, it will be salvaged and sent to a reputable salvage yard.
- If structural timbers such as joists are found to be non-performing, they will be retained and strengthened via coupling of members and or splicing. However defective timbers that show signs of spores/fungus attack or larvae will be removed to prevent the occurrence of a future breakout.
- To ensure quality, appropriate methods and materials, a series of samples will be required by the conservation and architectural teams including doors, joinery, sash windows, plaster removal and plastering, cornice running, and cleaning.
- The contractor will provide submittals of materials and products for the approval of the design team. Only high quality and fabric-compatible materials will be used during conservation and upgrades.
- Careful detailing is to be produced to provide a high-quality design and finish; this should be presented to the conservation consultant for comment where requested.
- All works undertaken will be monitored by qualified conservation architects and contractors.

All works to historic structures will be carried out in accordance with established conservation principles, including:

- Retention of historic fabric in situ wherever feasible
- Minimum intervention to existing structures
- Use of materials compatible with existing fabric, including lime-based mortars and breathable finishes
- Reversibility of interventions where practicable
- Clear distinction between historic and new fabric
- Execution of works by suitably qualified conservation contractors
- Ongoing supervision by a conservation architect

#### 6.1.2 ST. EDMUNDSBURY HOUSE (RPS 003)

- Retain existing internal features including plasterwork, joinery and skirting where feasible
- Minimise removal of historic partitions and retain evidence of original plan form where possible
- Carefully detail new openings to avoid loss of significant fabric
- Route services through existing voids and avoid chasing into historic masonry
- Use breathable finishes and avoid impermeable materials on historic walls
- Undertake façade remediation following removal of the ward extension in accordance with conservation best practice

#### 6.1.3 BARN AND COACH HOUSE (RPS 008)

- Limit the extent of new openings and ensure they are proportionate and appropriately located
- Retain existing masonry fabric and minimise cutting of walls
- Reuse existing roofing materials, including slates, where feasible
- Retain surviving structural timber where possible
- Design new structural elements to be independent where practicable and minimise intervention into historic fabric
- Ensure new floors and stairs are inserted in a manner that respects the character of the building
- Clearly distinguish new work from historic fabric

#### 6.1.4 BOUNDARY WALL AND BELL TOWER (RPS 013)

- Minimise physical intervention into the historic wall
- Limit the number and size of new openings
- Retain the visual prominence and legibility of the bell tower
- Avoid full enclosure of the wall where possible
- Ensure new structural elements are reversible and use minimal fixings
- Clearly differentiate new construction from historic fabric

#### 6.1.5 WALLED GARDEN (RPS 012)

- Minimise the extent of wall demolition
- Record all sections of wall prior to removal
- Salvage stone and reuse in a coherent and appropriate manner
- Maintain legibility of the original enclosure where feasible
- Avoid unnecessary additional openings
- Ensure remaining walls are conserved and repaired using appropriate materials

#### 6.1.6 FARM BUILDING (NIAH)

- Undertake full measured and photographic recording prior to demolition
- Salvage materials including stone, brick and structural elements where feasible
- Reuse salvaged materials within the proposed development where appropriate

#### 6.1.7 SOUTHERN BOUNDARY WALL (LUCAN ROAD)

- Carefully dismantle existing wall sections
- Record wall construction and features prior to removal
- Reconstruct wall using salvaged materials where feasible
- Maintain the character and material quality of the original wall

(Refer to separate AHIA for detailed assessment)

#### 6.1.8 SITE-WIDE MEASURES

- Protect all retained historic structures during construction works
- Implement appropriate construction management procedures to avoid accidental damage
- Control vibration and excavation works in proximity to historic fabric
- Ensure all boundary treatments and landscaping works respect the character of the historic site

## 6.2 RECORDING OF FABRIC SCHEDULED FOR DEMOLITION

Demolition is only proposed where necessary to facilitate the proposed new use or where its retention will compromise the overall progress of the development preventing the provision of a new mental health facility and in turn the conservation of the designated protected structures on the site.

In the event of the demolition of any heritage structure on the site irrespective of their origin and significance, it is recommended that they be preserved by record, by means of measured survey and photographic record of original features supplementing recording already undertaken in *Vol. 1: Conservation Report – Architectural Inventory, Condition Report and Appraisal*. This should be completed when the buildings are vacated and cleared of debris.

### 6.3 SALVAGE STRATEGY

It is proposed to salvage as much original fabric as possible to be reused in the proposed development.

### 6.4 HISTORIC BOUNDARIES AND LANDSCAPING STRATEGY

Where possible the new landscaping strategy will seek to reference the location, form and materiality of the historic plot and boundary conditions. Where robust historic materials can be reused, they will be integrated into the landscape design strategy.

## 7 PREDICTED IMPACT OF THE PROPOSED DEVELOPMENT

In this section we will describe the impacts arising from the proposed development on the architectural heritage, on the basis that the mitigations in sections 5 and 6 above are applied. All proposed impacts described below are to be understood in the context of the wider principle of redevelopment and managed change.

Following the implementation of the mitigation measures set out in Section 6, the residual impacts on the architectural heritage resource are as follows:

#### 7.1.1 ST. EDMUNDSBURY HOUSE (RPS 003)

Residual impacts will comprise slight to moderate adverse effects arising from internal alterations, including removal of partitions, insertion of new openings and installation of services.

These impacts are localised and are offset by the moderate positive effect of securing the continued use, repair and long-term maintenance of the building.

#### 7.1.2 BARN AND COACH HOUSE (RPS 008)

Residual impacts will comprise moderate adverse effects arising from alterations to building fabric and form, including the formation of new openings, insertion of new structural elements and internal reconfiguration.

These impacts are balanced by moderate to significant positive effects associated with the adaptive reuse of the structures, which will secure their long-term conservation and maintenance.

#### 7.1.3 BOUNDARY WALL AND BELL TOWER (RPS 013)

Residual impacts will comprise a moderate adverse effect due to the alteration of the wall's historic function and its incorporation into the new building.

While mitigation measures will reduce the extent of physical intervention and maintain visual legibility, the change in spatial character cannot be fully mitigated.

#### 7.1.4 WALLED GARDEN (RPS 012)

Residual impacts will comprise **moderate to significant adverse effects** arising from the demolition of sections of the enclosure and the introduction of a new building within the space.

Mitigation measures will reduce the extent of fabric loss and retain partial legibility of the enclosure; however, the change in spatial character and loss of fabric will remain.

#### 7.1.5 FARM BUILDING (NIAH)

Residual impact will be a **permanent moderate adverse effect** due to the complete loss of the structure.

Mitigation measures, including recording and salvage, will not offset the loss of the building itself.

#### 7.1.6 SOUTHERN BOUNDARY WALL (LUCAN ROAD)

Residual impacts will comprise a **moderate adverse effect** arising from the removal and relocation of the wall and the alteration of its historic alignment.

While reconstruction using salvaged materials will retain aspects of the wall's character, the change in location and context will remain.

#### 7.1.7 OVERALL RESIDUAL IMPACT

The proposed development will result in a combination of **moderate to significant adverse impacts** arising from demolition, alteration and new construction within the historic complex.

These impacts are balanced by **moderate to significant positive effects** associated with the conservation, repair and adaptive reuse of key historic structures, and the securing of their long-term viability.

On balance, the development will result in a **mixed residual impact**, with adverse effects offset by the long-term benefits of reuse and conservation.